



PILLAR ROOFING

Top Service With Integrity

& Construction

TPO Retrofit Proposal

*Celebrating
our 20th Year
in Business*

PillarTX.com
Commercial & Residential
Family Owned & Operated
Since 2004



A+ Rated

1750 N. Collins Blvd. Richardson, Texas 75080 Office 214 293-3904

Company Name: **Pillar Roofing**

Date: _____

Contact Person: **Steve Monahan**

Cell #: _____

Email Address: **steve1@pillartx.com**

Alternate: _____

Project Address: **1750 N. collins Blvd.**

Building #: **Terminal 1**

City, State & Zip: **Richardson, Texas 75080**

Inspection Report:

The photos below were taken on **Apr. 26th 2023**; the day lightning struck the building. On that day the hole left behind from the lightning strike was repaired. Our team also inspected the entire roof system for any other issues and these are our findings:



Lightning Strike



Triple Patched

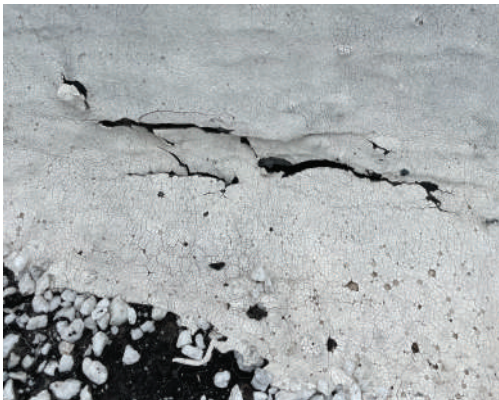


Covered & Protected

The photos below show: Ponding rainwater has created a low area in the roof system. Normally the overflow water would have a path that is sloped toward the drainage areas, however, you can see the drain is dry and the ponding is left to soak in to the membrane adhesive materials and cause interior leaks.



The photos here show: The roof fixtures have been repaired in the past with some type of coating material. Some of the repairs are starting to dry out and crack open allowing moisture to get behind the membrane seal.



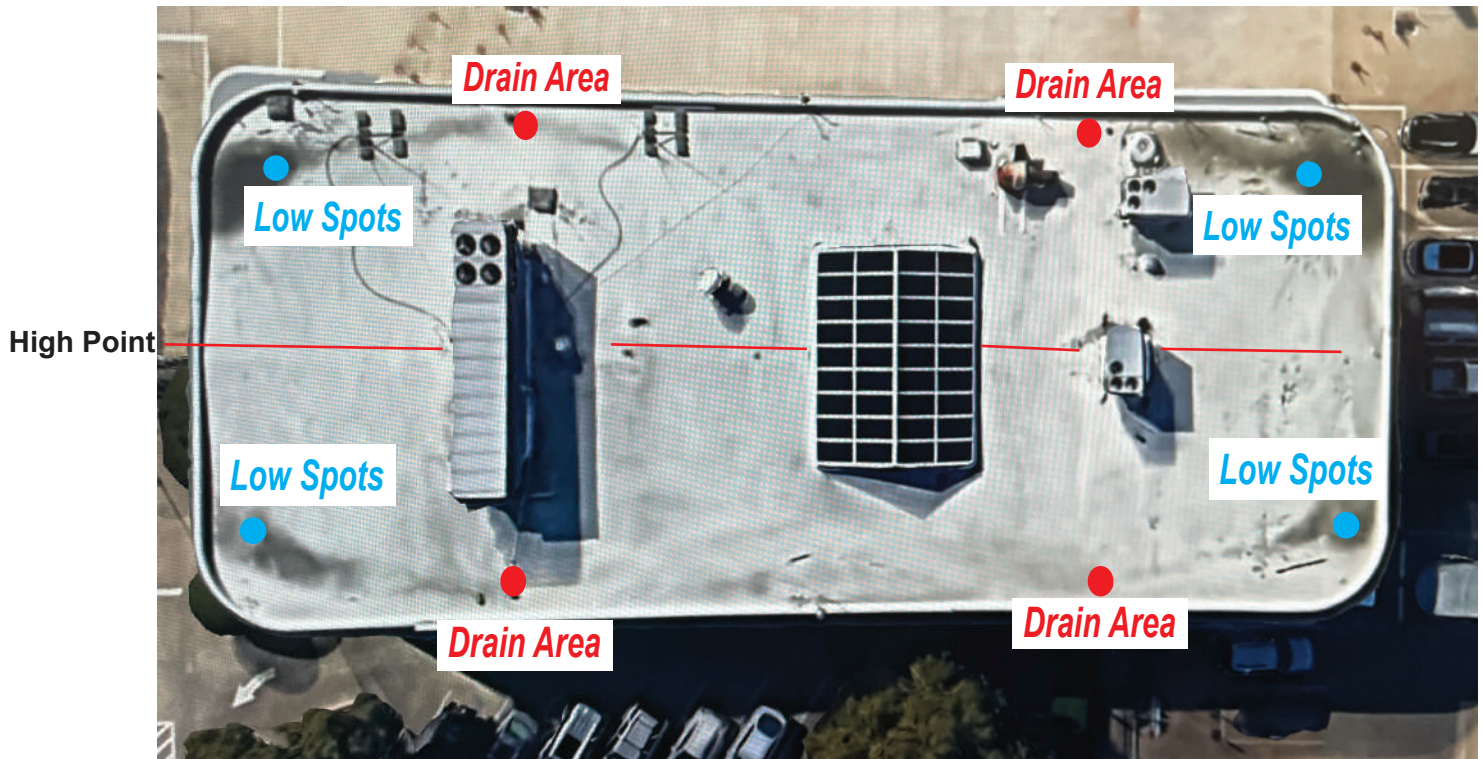
Scope Of Work:

Project Preparation:

- Unused equipment should be removed from the roof's surface prior to the roof restoration process.
- Remove the top layer of gravel using flathead shovels, brooms and wheelbarrows, haul away daily.
- Clear the roof system of all dust debris using brooms and blowers.

Install ISO Insulation Board:

- Mechanically attach 4 x 8' sheets of insulation fiber board to the substrate using long metal deck screws and plate washer.
- Install insulation fiber board around A/C curbs, HVAC equipment, gas lines, and drainage areas.
- Crickets and saddles will be installed using the ISO insulation board; these details under the TPO membrane will add areas with contoured roof slope; this will improve water flow toward the drainage areas.



60 Mil TPO Membrane: *Not To Exceed 205 Roofing Squares including parapet wall areas.*

- Mechanically attach the 60 Mil TPO membrane to the substrate with deck screws and washer plates.
- All TPO seams will overlap approx. 6" on center, and TPO technicians will heat weld every crossing and connection.
- Apply lap sealant to seal cut edges of sheet membrane and verify field strength of seams twice daily.
- The perimeter areas and all fixture details will be done by TPO technicians with hand held heat welding guns.
- The TPO membrane will be pulled tight and mechanically attached to the base of the parapet wall with concrete screws.
- **Please see Page 3 for all Parapet Wall Details.**
- Field and scupper drainage areas will be updated with new custom TPO flashing details.
- Install TPO safety walk pads around A/C equipment, roof access points, and maintenance areas.
- Install TPO covered block risers supports under gas lines and piping to help protect the new TPO membrane.

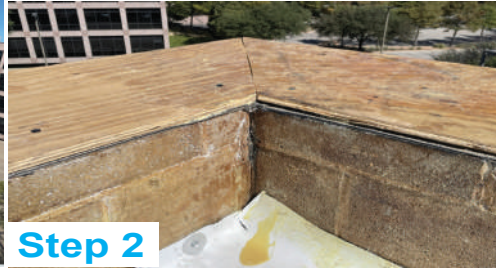
TPO Drainage Details:

- The TPO membrane will be custom installed over the new crickets and saddles creating areas that slope toward the retrofitted drains, allowing for maximum water flow off the roof.

Metal Flashing Details:

- New TPO flashing details will be installed on the A/C & skylight curbs as well as the new elevator roof-to-wall areas.
- The TPO details will be fully adhered to curbs and walls then terminated with mechanically attached metal term-bar.

Example Parapet Walls TPO Details: Parapet wall details shown below will be installed around the entire perimeter.



- The photos below show the steps needed to terminate the TPO membrane where parapet walls exist around the perimeter areas.
 - Step 1: Install plywood with small shims creating a slight slope on the top area of the parapet wall; this will allow for run off.
 - Step 2: Adhere shim and plywood into place along the top and in the counters of the parapet wall using low rise foam adhesives.
 - Step 3: Mechanically attach the field TPO membrane to the side of the parapet wall as shown in the photo below.
 - Step 4: Adhere the TPO membrane to the sides of the parapet wall and the plywood around the entire perimeter areas.
 - Step 5: Form fit the TPO membrane sheet to the parapet as well as up and over the plywood, adhere in to place as needed.
 - Step 6: Mechanically attach a 3 piece metal flashing assembly to the outside parapet walls, this is what will be seen from the ground.
- NOTE:** The Parapet Walls TPO Detail is done this way to assure the membrane is tight and then mechanically attached. The plywood gives the parapet wall a very smooth surface for the membrane to be adhered to. The shim will tilt the top of the wall inward just enough to keep the water from dropping down the building's sides. The final step of the detail is the metal coping 3 piece clip system, sealing the perimeter like an envelope.

Project Logistics:

Project Staging:

- Our team will park their work vehicles and equipment in the back parking area as shown on the photo below.

Set-Up and Staging:

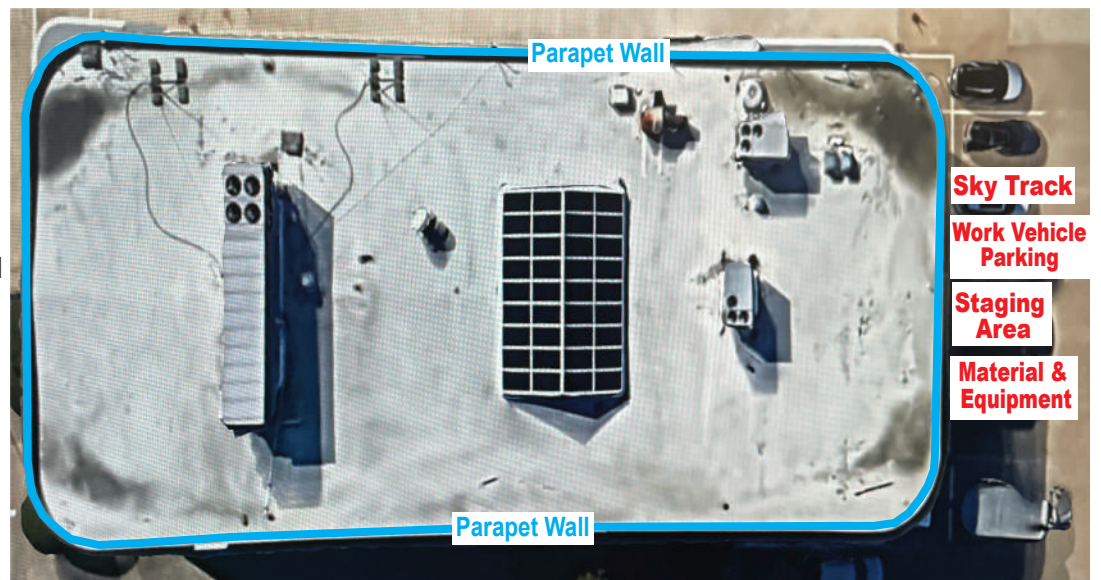
- Our project staging area will be positioned next to material and equipment area as shown on the photo below.

Roof Access & Loading:

- Project materials and equipment will be lowered on to the roof with our sky-track. Our sky-track will be parked and out of the way of your company's business when not in use.
- Our roof technicians will access the roof with ladders during all phases of repair; ladder locations will change as the project moves through the phases.

Project Duration:

- Our team will have all the equipment and materials on site as needed; this will keep the project on schedule.
- The TPO retrofit installation will take **approx. two to three weeks depending on weather conditions.**



Project Contingencies

- We recommend your A/C company be alerted to the fact your Roofing System is being recovered. The line and pitch-pans alongside A/C units will have new flashings installed. Some line supports and units may require slight movement, so we think it is best you have your A/C company on standby.
- Unforeseen damage is a factor in commercial roofing. These are the project contingencies we want stated: The existing drainage system has been in place for years, getting the water to flow to the drains is our job, however if there is an internal problem with the drains themselves and it needs to be replaced the cost to retro-fit is **\$625 Per drain replacement.**

Project Guidelines

- Pillar Roofing shall follow all OSHA fall safety protection and standards during all Phases of this project.
- Pillar Roofing will perform work only during the hours allowed by the Management team.
- During all phases of this project, a Pillar Roofing Project Manager will oversee quality control issues, safety issues, cleanliness of the job site, and protection of the customer's property.
- Our Supervising Crew Chief will be on hand during the entire project. His responsibilities will include: debris management, material placement, and answering any questions that may arise on this project.

Quality Assurance:

- **20 Year Manufacturer's Warranty**
- **5 Year Pillar Roofing Workmanship Warranty**
- **2 Year Pillar Roofing Maintenance Service**
- The final roof system inspections will be done by the following people will be included: Management Team, Pillar Roofing Project Manager, and the TPO technician crew chief.
- All roof system warranties will be activated immediately after final inspections

TPO Roof System Maintenance:

Your two year maintenance program starts upon the completion of the project with scheduled visits twice a year, spring and fall and after significant weather events. The following items will be included:

- Rainwater flows faster off a TPO roof system so all drainage areas must be checked and cleared twice a year.
- Debris needs to be regularly removed from under A/C units, gas lines, and all other fixtures and utility areas.
- Sean testing will be done around major TPO juncture and overlapping detail areas.
- Examine water-flow and drainage efficiency around the entire TPO roof system.
- Examine all parapet wall details to make sure termination points are secure and dry.

Video & Photo Updates:

- Videos and photos will be submitted weekly to provide the client with visual updates on the install progress.

Project Cost & Payments:

Price includes: material, labor, equipment, warranties.

Project Price: _____

Texas State Commercial Sales Tax 8.25%: _____

1st Down Payment: _____

Total Project Cost: _____

Final Payment: _____

NOTE: Submitted Date 02/28/24

Pillar Roofing Project Manager: **George Reyes**

Cell #: **214-808-0927**

Pillar Roofing Production Manager: **Steve Monahan**

Cell #: **972-742-6040**

Authorize Signature: _____ Date: _____

